

# New Home Construction

with

Cory Stewart

12/4/2023





**ASK QUESTIONS!!!**

An architectural line drawing of a two-story house with a gabled roof, multiple windows, and a front porch. The drawing is in blue ink on a white background. It is partially obscured by a large, light blue curved shape that serves as a background for the text.

# Purpose of this Class?

- **Explain why New Homes is so Important to all of us! (Creating Inventory!)**
- **Provide a Broad Overview on the Construction Process**
- **Help you to feel more comfortable selling New Homes**
- **Help you understand how to find New Homes**
- **Answer Questions**
- **Pricing Rule of Thumb (70/20/10)**
- **Provide you with 3 hours of CE credit**

# Equality... ummm NO!

An architectural line drawing of a two-story house with multiple windows and a central entrance. The drawing is in the background, partially obscured by the title and the blue gradient area.

- For this class we all must agree on a couple basic principles...
  - NOT ALL Builders are created equal
  - NOT ALL Brokerages are created equal
  - NOT ALL Developers are created equal
  - NOT ALL New Home Agents are created equal

They all run their businesses as they see fit.





Why are new homes so  
important?

What do the numbers say?



**3817 – Active Existing home listings (68.8%)**  
**1728 – Active New home listings (31.2%)**

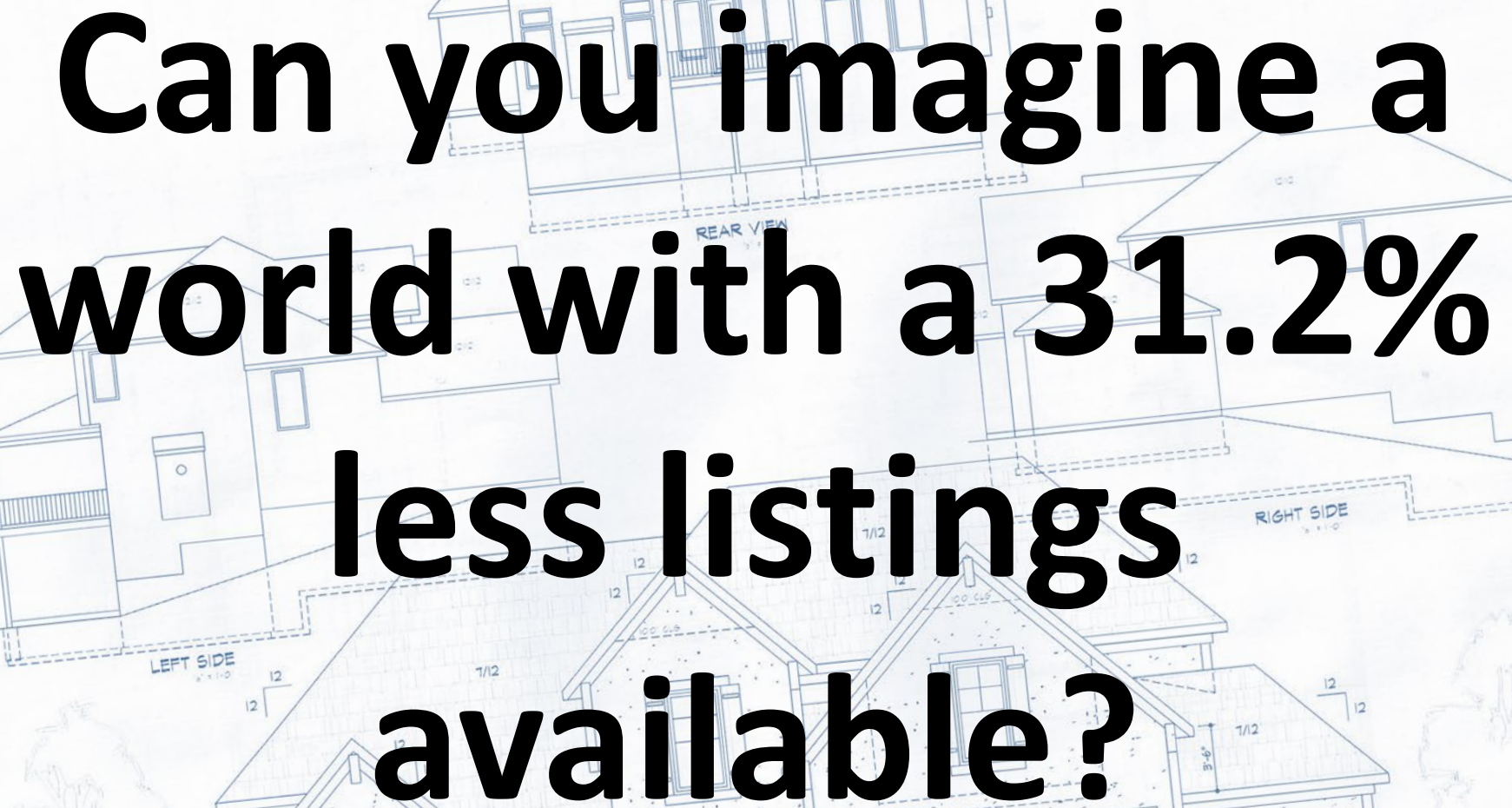
**2814 – Pending Existing Homes (77.3%)**  
**828 – Pending New Homes (22.7%)**

**3307 New Homes Sold in Last 365 Days**  
**\$1.96 Billion in sales volume!**

**Existing Homes – 1.35 Month Supply**  
**New Homes – 5.01 Month Supply**

**Always check HMLS!**

**Source: HMLS 12/4/2023**

The background of the image is a set of architectural blueprints for a two-story house. The blueprints include a 'FRONT ELEVATION' at the bottom, a 'REAR VIEW' at the top, and 'LEFT SIDE' and 'RIGHT SIDE' views on the left and right respectively. The drawings show various architectural details like windows, doors, and a garage. Dimensions such as '12', '12 1/2', and '9'-6"' are visible. The text 'Can you imagine a world with a 31.2% less listings available?' is superimposed in large, bold, black font across the center of the image.

**Can you imagine a  
world with a 31.2%  
less listings  
available?**



**OMG!**

FRONT ELEVATION



The background of the slide is a faint, light blue architectural line drawing of a two-story house. The drawing includes various rooms, windows, and a balcony. A large, solid blue circle is superimposed over the lower half of the image, partially obscuring the architectural drawing. The text is overlaid on this blue circle and the upper part of the drawing.

# New Home Construction

What are the differences  
between  
new homes & resale?

- Sub Surface Conditions
- Contracts
- Model homes
- Building process
- Builders
- Financing options
- Community agents
- Community requirements
- Site selection
- Options
- Time frame
- Allowances
- Escalation Clauses
- Inspections
- Escrow
- MLS Search

# **Material Escalation Clause from a Builder?**

## **What does this mean?**

Builders will reserve the right to pass along hard costs where the budgeted line-item estimate was grossly inadequate.

## **Does my buyer have to pay?**

If the buyer wants to stay in the contract with the Builder, then they will have to pay the additional cost.

## **Is this legal?**

According to the attorney who wrote the clause, yes.

## **What options do my buyers have?**

Consult an attorney

Pay the overage

Cancel the contract and collect most, if not all, deposits

The background of the image consists of several architectural line drawings of a two-story house. At the top, there is a 'REAR VIEW' drawing showing the back of the house with a central door and windows. To the left, there is a 'LEFT SIDE' drawing. At the bottom, there is a 'FRONT ELEVATION' drawing showing the front of the house with a large garage door and a central entrance. The drawings are in blue lines on a white background.

# New Home Construction

MLS Search  
& Scheduling Showings



# NEW HOMES ONLY

## Listing

### Status

[Select All](#) [None](#)

<input checked="" type="checkbox"/> Active		
<input type="checkbox"/> Show For Backups		
<input type="checkbox"/> Pending		
<input type="checkbox"/> Contingent		
<input type="checkbox"/> Sold		
<input type="checkbox"/> Expired		
<input type="checkbox"/> Withdrawn		
<input type="checkbox"/> Temp Off Market		
<input type="checkbox"/> Cancelled		
<input type="checkbox"/> Pre MLS		

### Property Conditions

Model-Not For Sale		
Never Occupied		
Under Construction		

☐ And ☒ Or ☐ Not

# NEW & RESALE HOMES

## Listing

### Status

[Select All](#) [None](#)

<input checked="" type="checkbox"/> Active		
<input type="checkbox"/> Show For Backups		
<input type="checkbox"/> Pending		
<input type="checkbox"/> Contingent		
<input type="checkbox"/> Sold		

### Age

2 Years/Less

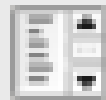
3-5 Years

6-10 Years

11-15 Years

☒ Or ☐ Not

# Time Sensitive Buyers?



Additional Fields [Add/Remove](#)

ECD

0 To 45 Days  
46 To 90 Days  
91 To 150 Days  
150 Or More Days



☐ And ☒ Or ☐ Not

# Setting Up Showings For New Homes

Call the on-site agent first!

- The home may be under construction OR unable to show safely
- There may be a model home to tour vs one under construction
- There may be a home nearing completion the on-site agent can show

The on-site agent might ask you to schedule through Broker Bay or other showing service.

An architectural line drawing of a two-story house, viewed from the rear. The drawing shows a gabled roof, multiple windows, and a small balcony. The text "REAR VIEW" is written in blue ink below the main structure. The drawing is partially obscured by a large, light blue curved shape at the bottom of the slide.

# New Home Construction

Model Homes  
Spec Homes  
Customizable Homes  
Custom Builds



**Model Home** – Finished and typically furnished home which is not for sale and showcases different option and features

**Spec Home** – (Short for \_\_\_\_\_?)

Homes built by the builder in the hopes of selling at some point while the home is under construction.

**Customizable Home** – Typically a Model Home or other existing floor plan which can be modified to meet buyer's needs. (AKA – Build Job)

**Custom Built Home** – This situation is rare and typically occurs in higher price points. The buyer works with a builder and architect to create a new floor plan incorporating all of the buyer's ideas

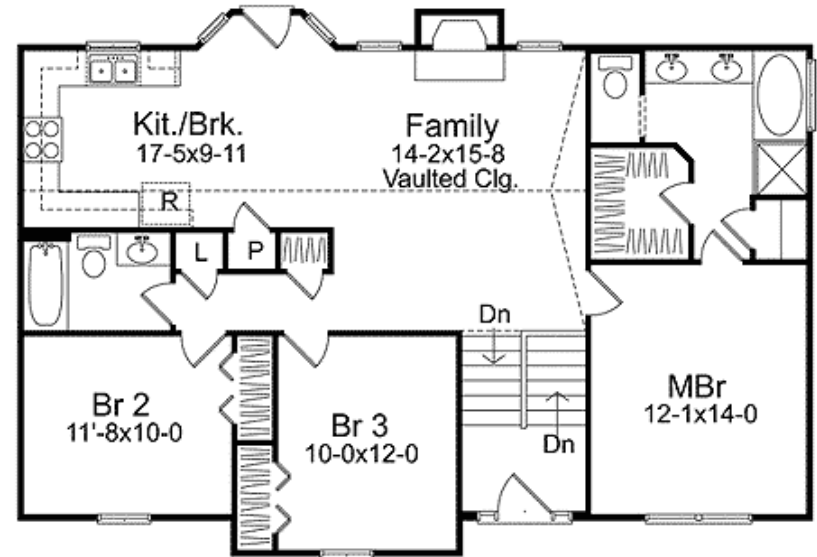
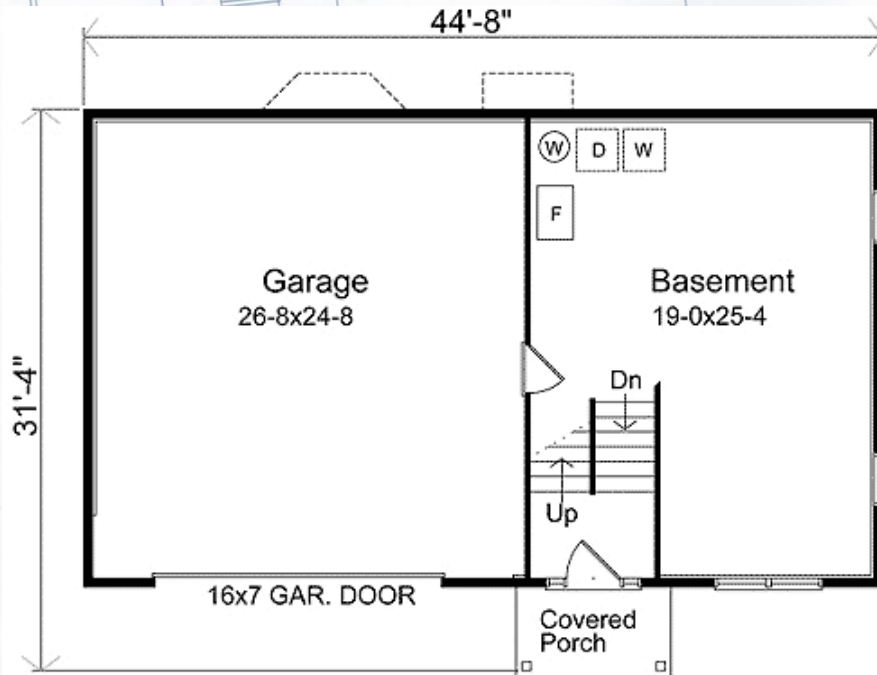
The background of the slide features architectural drawings of a house. At the top, there is a 'REAR VIEW' drawing of a two-story house with a gabled roof and multiple windows. Below this, on the left, is a side elevation of a smaller house. On the right is another side elevation of a larger house. At the bottom of the slide, there is a 'FRONT ELEVATION' drawing showing a house with a prominent front porch and large windows. The text 'New Home Construction' is overlaid in large, bold, black font on the upper part of the drawings. The text 'Floor Plan Selection' is overlaid in bold, black font on a light blue rectangular background in the middle. The text 'What is right for my buyer?' is overlaid in bold, black font on a darker blue rectangular background at the bottom, underlined.

# New Home Construction

## Floor Plan Selection

What is right for my buyer?

# Split Entry

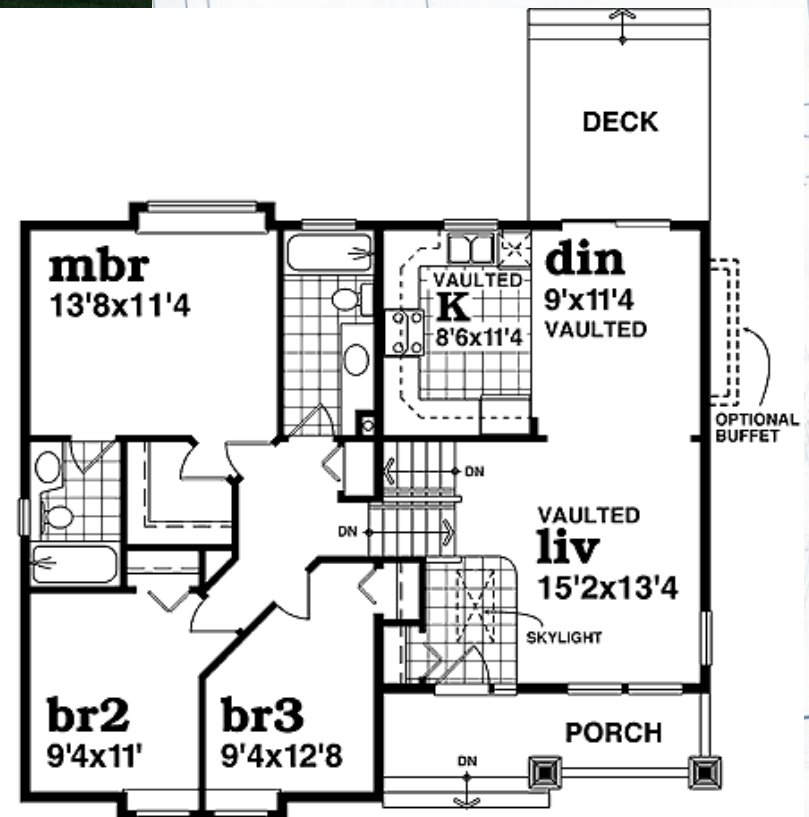
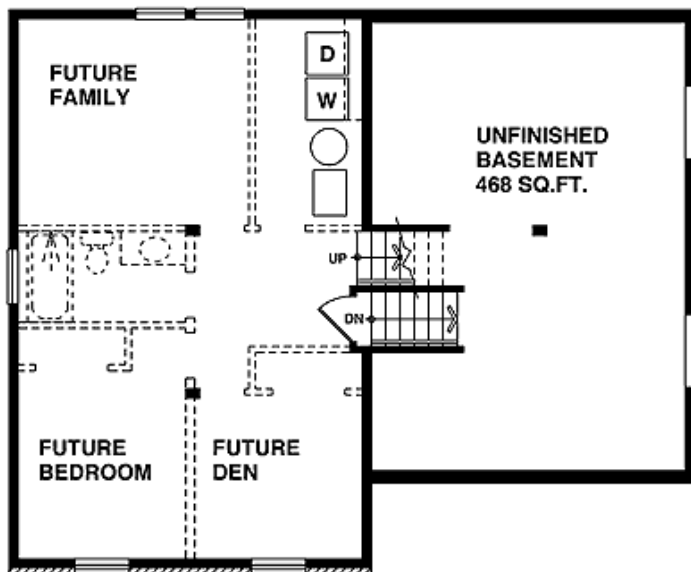


FRONT ELEVATION





# Side to Side

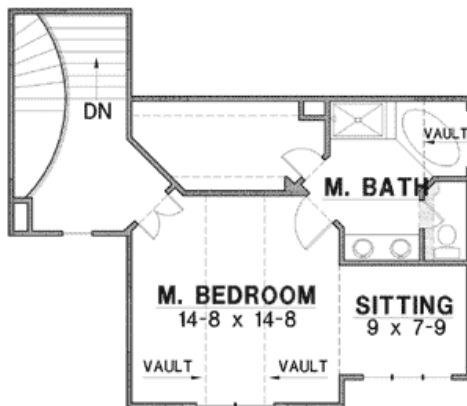
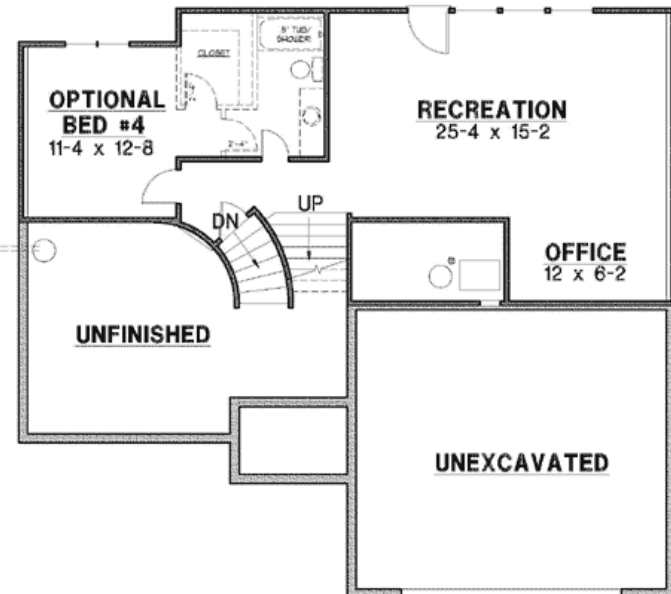
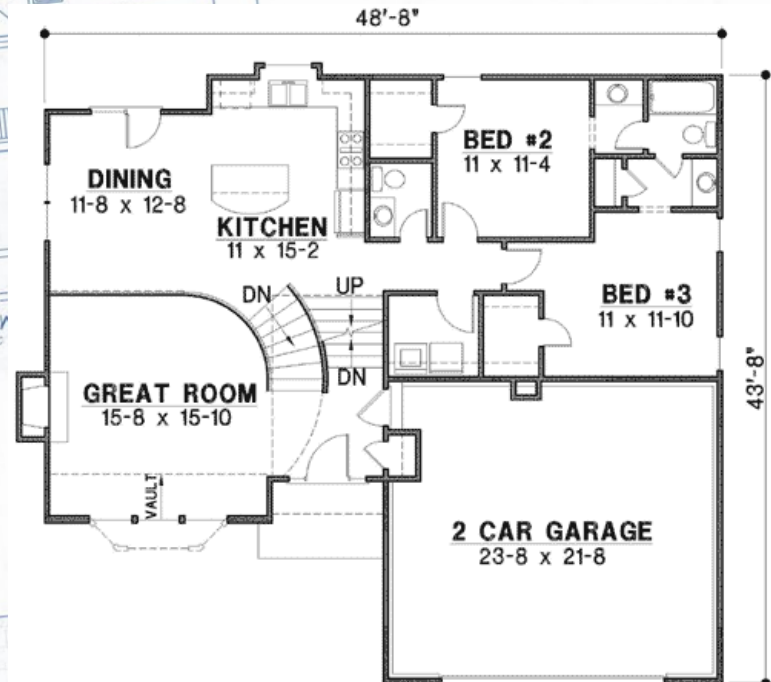




# Front to Back

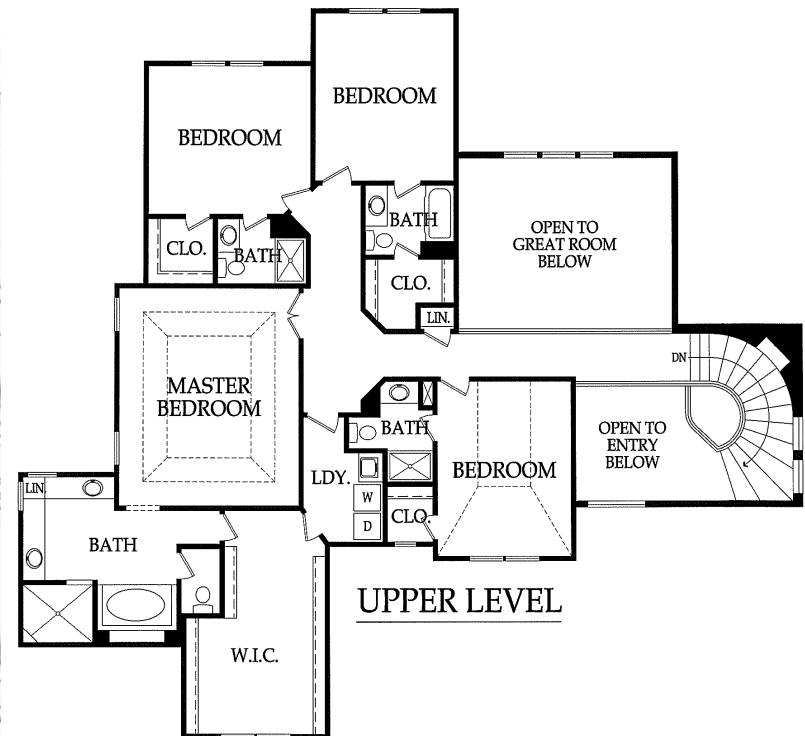
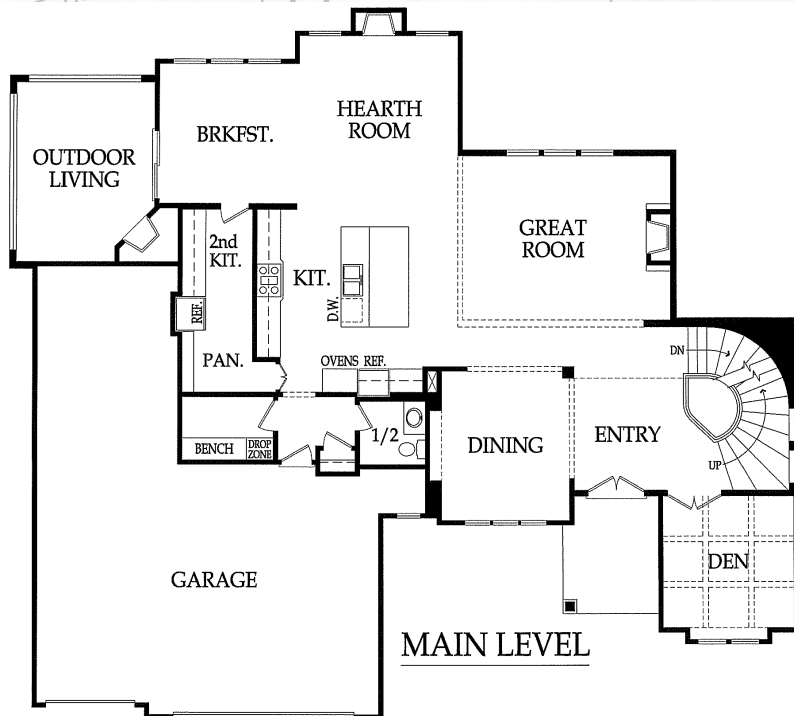


Add another half flight of stairs with a full Master ...  
California Split





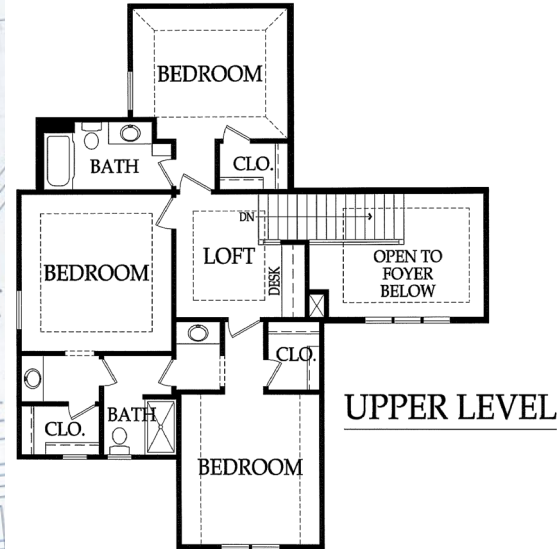
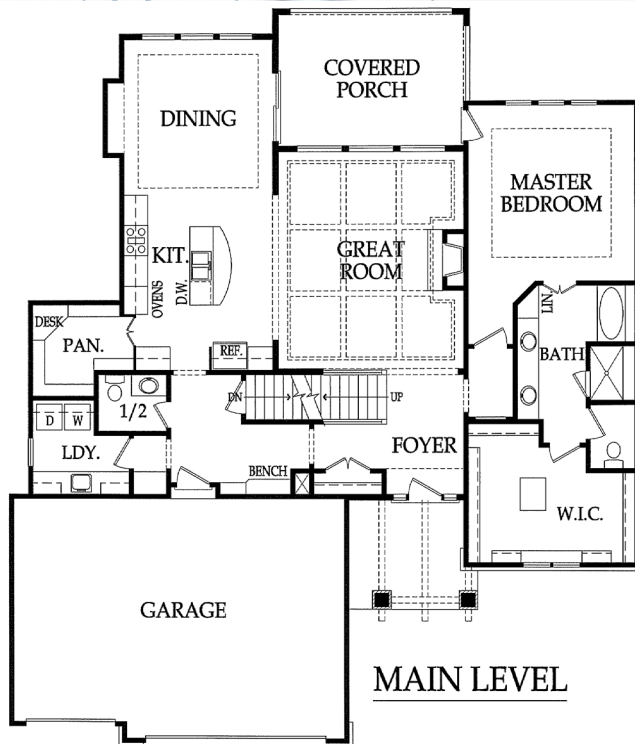
# 2 Story







# 1 1/2 Story



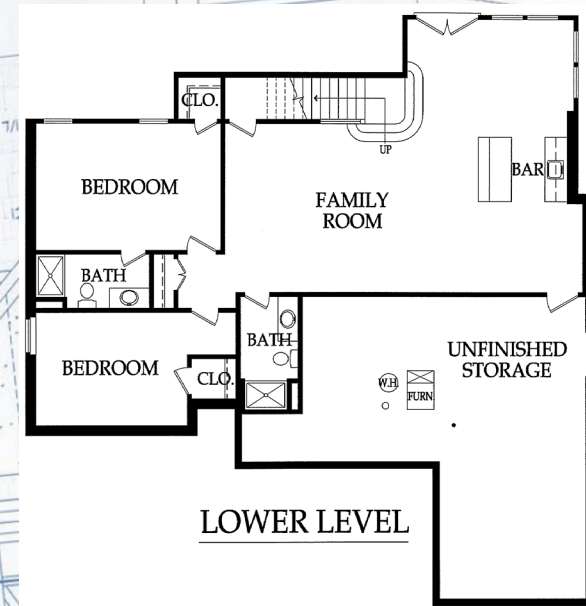
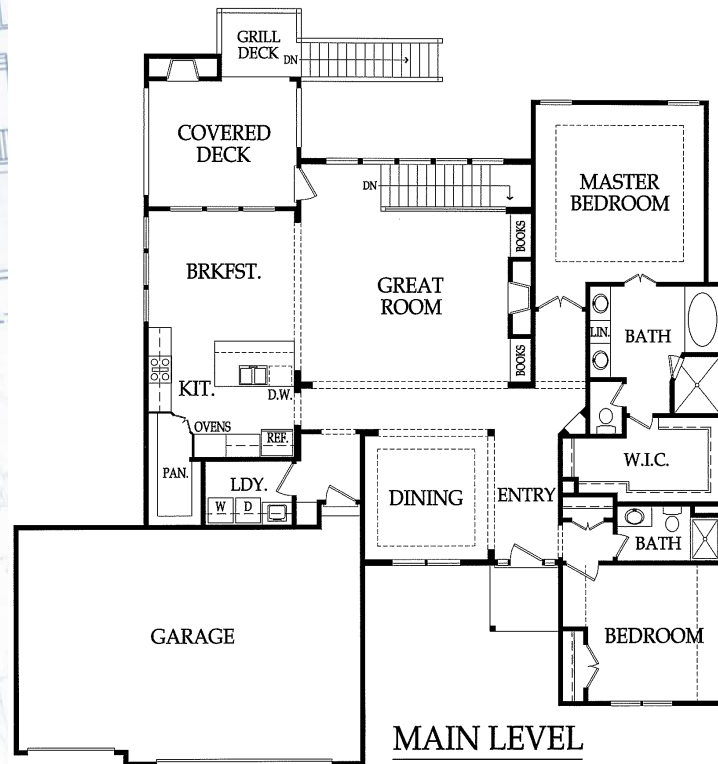
FRONT ELEVATION







# Reverse 1 ½ Story



FRONT ELEVATION

The background of the slide features architectural drawings of a house. At the top, there is a 'REAR VIEW' drawing of a two-story house with a central entrance and several windows. Below it, to the right, is a 'RIGHT SIDE' drawing of a single-story structure. At the bottom, there is a 'FRONT ELEVATION' drawing showing a two-story house with a prominent front door, windows, and a large garage with multiple doors. The drawings are in blue lines on a white background.

# New Home Construction

70/20/10 – Pricing Rule of Thumb (General)



# 70/20/10 – Pricing Rule Of Thumb

Before a buyer can select a lot, they should make sure it is going to work for their budget.

70% of the buyers desired budget should be the Base Price established by the builder

20% of the buyers desired budget should be the Lot Price established by the developer

10% of the buyers desired budget should be Option & Upgrades

Let's assume a buyer has a budget for a new home of \$475,000.

Base Price

70% of \$475,000 = \$332,500

Lot Price

20% of \$475,000 = \$95,000

Options and Upgrades

10% of \$475,000 = \$47,500

Things to keep in mind when pricing:

Additional site costs (buyer pays out of pocket)

Allowances overages (buyer pays out of pocket)

Escalation Clauses (buyer pays out of pocket)

Change Orders (buyer pays out of pocket)

You should investigate these potential costs when pricing and add, or increase the allowance, to help cover these costs. If the allowance isn't exhausted, the buyer should be able to use those funds for something else. (And more fun!)

The background of the image consists of architectural line drawings of a two-story house. At the top, the 'REAR VIEW' is shown, featuring a central entrance with a small porch and several windows. To the right, the 'RIGHT SIDE' elevation is depicted, showing a side profile of the house. At the bottom, the 'FRONT ELEVATION' is illustrated, highlighting a large double garage door, a central front door, and windows with shutters. The drawings include various architectural details like rooflines, windows, doors, and landscaping elements like trees and shrubs. Dimensions and labels are scattered throughout the drawings.

# New Home Construction

Site (Lot) Selection

[illegible]





PREPARED FOR:  
NEW MARK HOMES

#### LEGEND

- (S1) 8" X 6" TEE  
95' DDS  
2 L.F. RISER THEN  
19 L.F. OF 6" PVC  
@ 1.3%  
FL=948.4  
MSFE=951.4
- (E1) TOP EGRESS WELL=961.0  
F.G. EGRESS WELL=960.5  
TOP EGRESS WALL=958.0  
3' WALL

E.G.= EXISTING GRADE  
F.G.= FINISHED GRADE  
T/C= TOP OF CURB  
T.E.= TOP ELEVATION  
H.P.= HIGH POINT  
B.F.= BASEMENT FLOOR  
T.W.= TOP OF WALL  
G.F.= GARAGE FLOOR  
FL= FLOW LINE  
EGL=ENERGY GRADE LEVEL  
MLO=MINIMUM LOW OPENING  
L/E=LANDSCAPE EASEMENT  
P.B.=PERIPHERAL BOUNDARY  
WRWW=WATER RESISTANT WND. WELL  
S/E=SANITARY SEWER EASEMENT  
E/I=ENGINEERING & INSPECTION



City of Basehor  
Building Department

Approved for Code Compliance

Willie  
Nagle

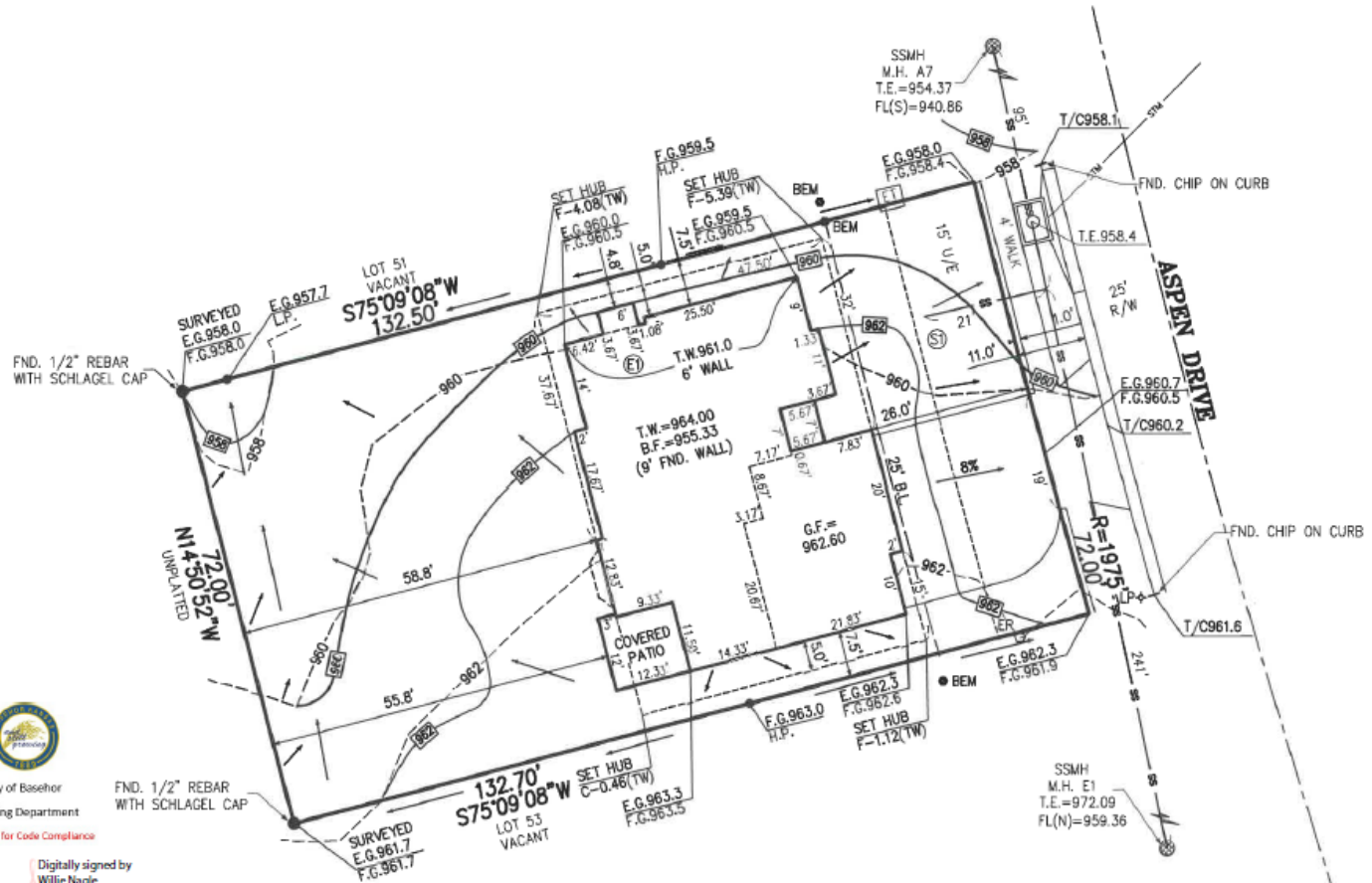
Digitally signed by  
Willie Nagle  
Date: 2022.10.26  
08:39:59 -05'00'

# PLOT PLAN

## LOT 52

### BOULDERS AT FALCON LAKES VILLAS, FIRST PLAT

### 4540 ASPEN DRIVE



#### NOTES:

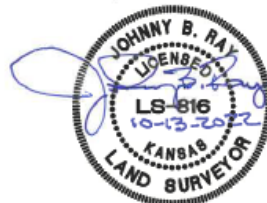
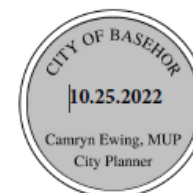
1. SQUARE FOOTAGE OF DRIVEWAY AS SHOWN: 949
2. 6 INCHES OF CLEARANCE IS REQUIRED FROM THE FINISHED GRADE TO THE SILL PLATE OF THE STRUCTURE. THE GRADE SHALL FALL A MINIMUM OF 6 INCHES WITHIN THE FIRST 10 FEET FROM THE FOUNDATION OF THE BUILDING.
3. CLIENT TO VERIFY ALL WALL HEIGHTS AS SHOWN PRIOR TO EXCAVATION AND POURING OF FOUNDATION.

LOT AREA=9,531 SQ. FT.

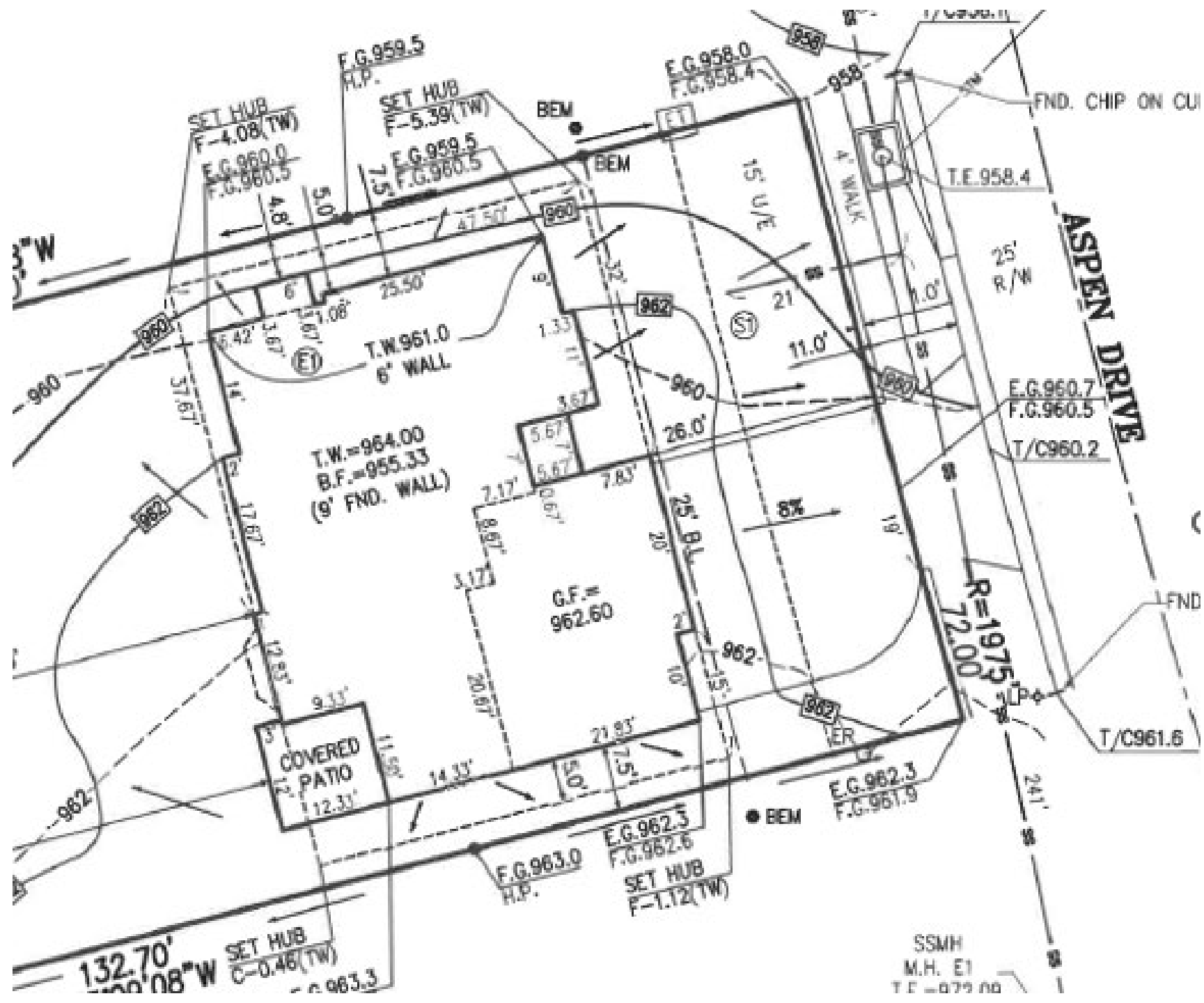
DATE STAKED: 10/6/22  
SURVEY CREW: CM  
HOUSE TIES CHK'D: YES

LEGAL DESCRIPTION:  
LOT 52, BOULDERS AT FALCON LAKES  
VILLAS, FIRST PLAT, A SUBDIVISION OF  
LAND IN THE CITY OF BASEHOR,  
LEAVENWORTH COUNTY, KANSAS.

Backwater protection required for all basement and  
first floor plumbing fixtures.







# Plot Plan Terms/Abbreviations

TC – Top of Curb\*

GF – Garage Floor\*

TW or TF – Top of Wall or Top of Foundation\*

BF – Basement Floor\*

FG – Final Grade\*

PG – Proposed Grade

EG – Existing Grade

HP – High Point

FL – Flow Line

MLO – Minimum Low Opening\*

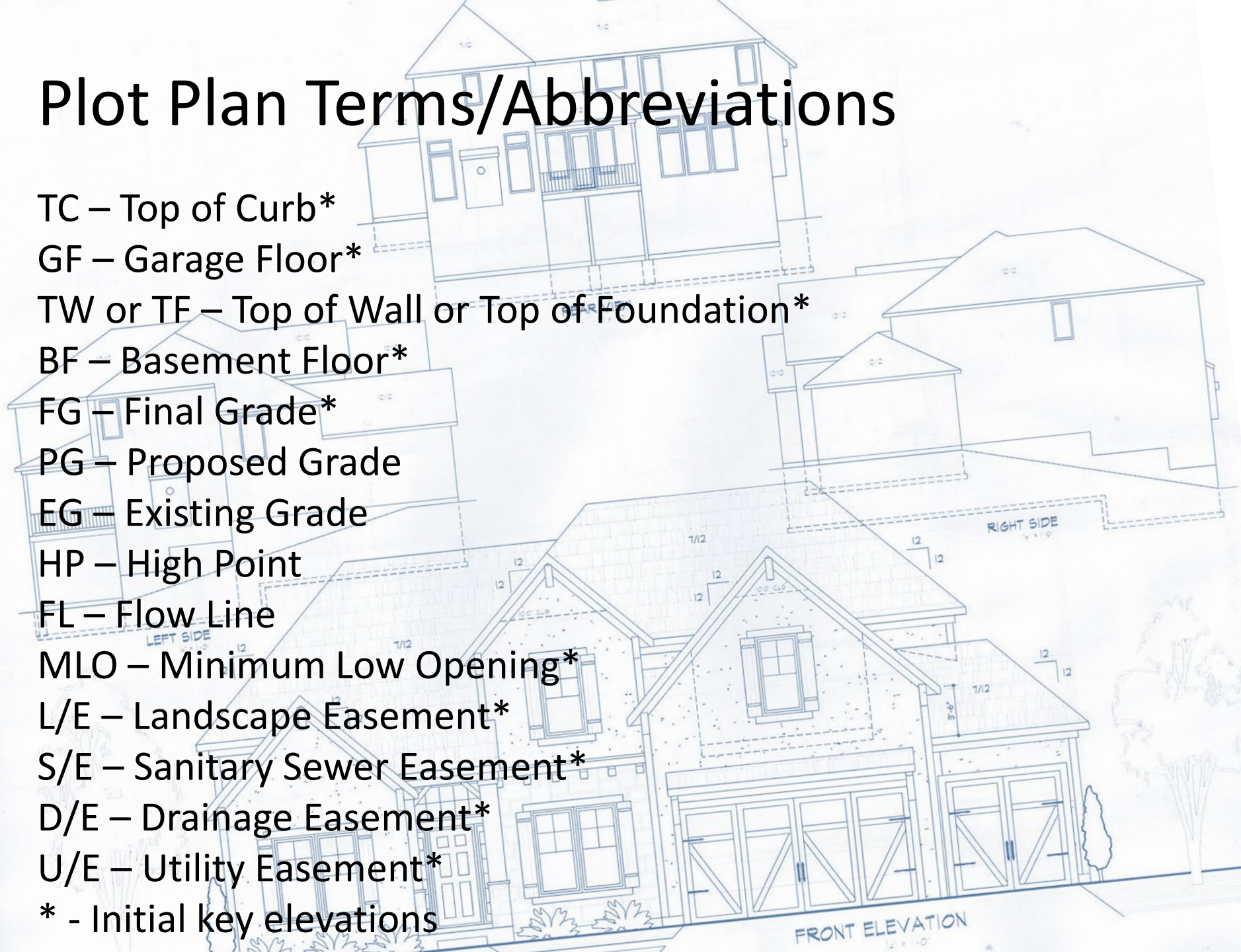
L/E – Landscape Easement\*

S/E – Sanitary Sewer Easement\*

D/E – Drainage Easement\*

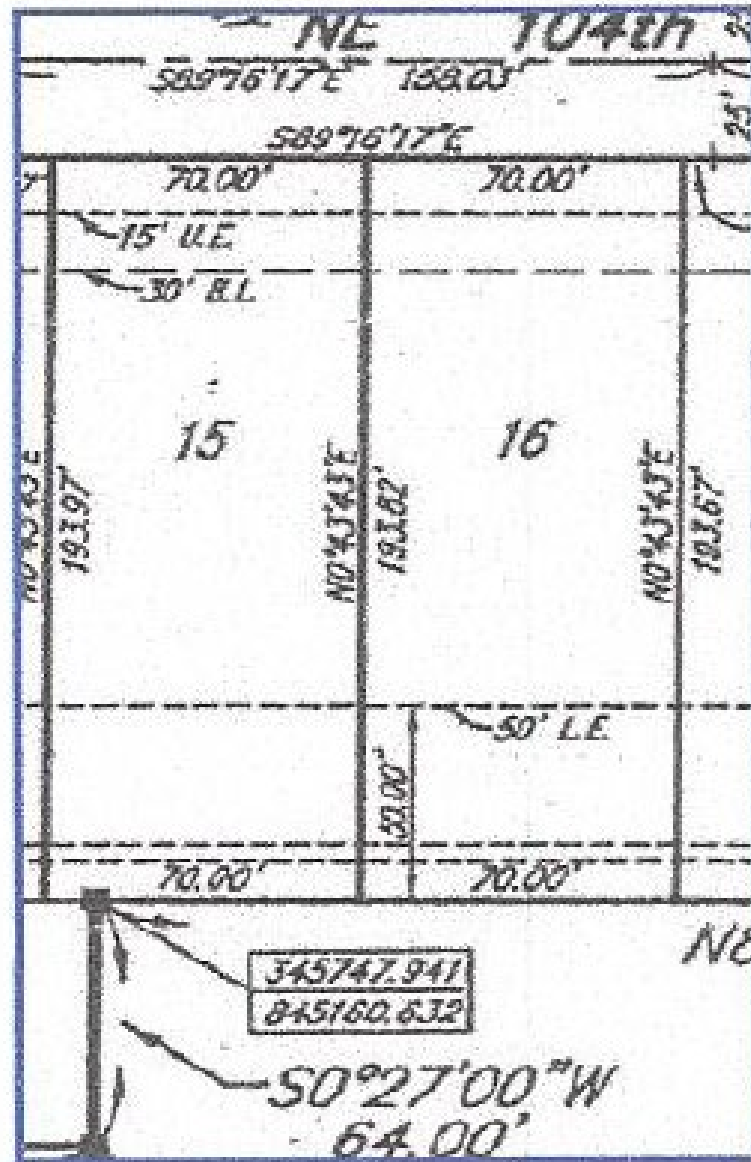
U/E – Utility Easement\*

\* - Initial key elevations



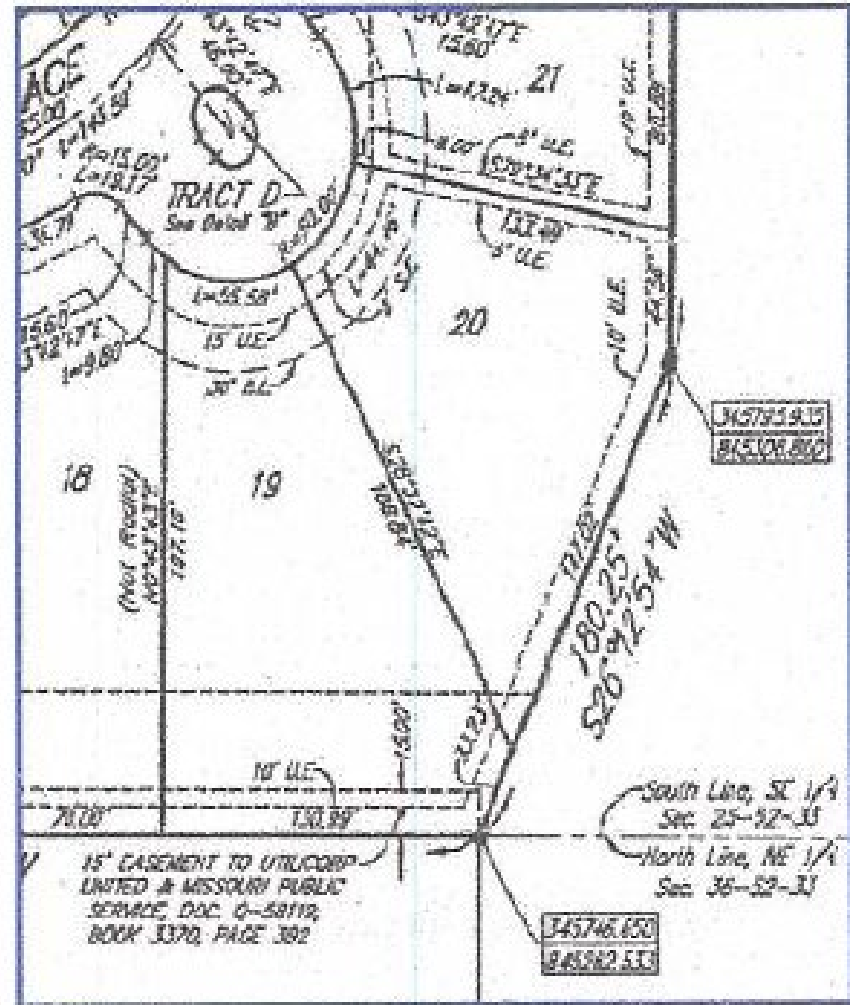
Lot Shape

Rectangular



# Lot Shape

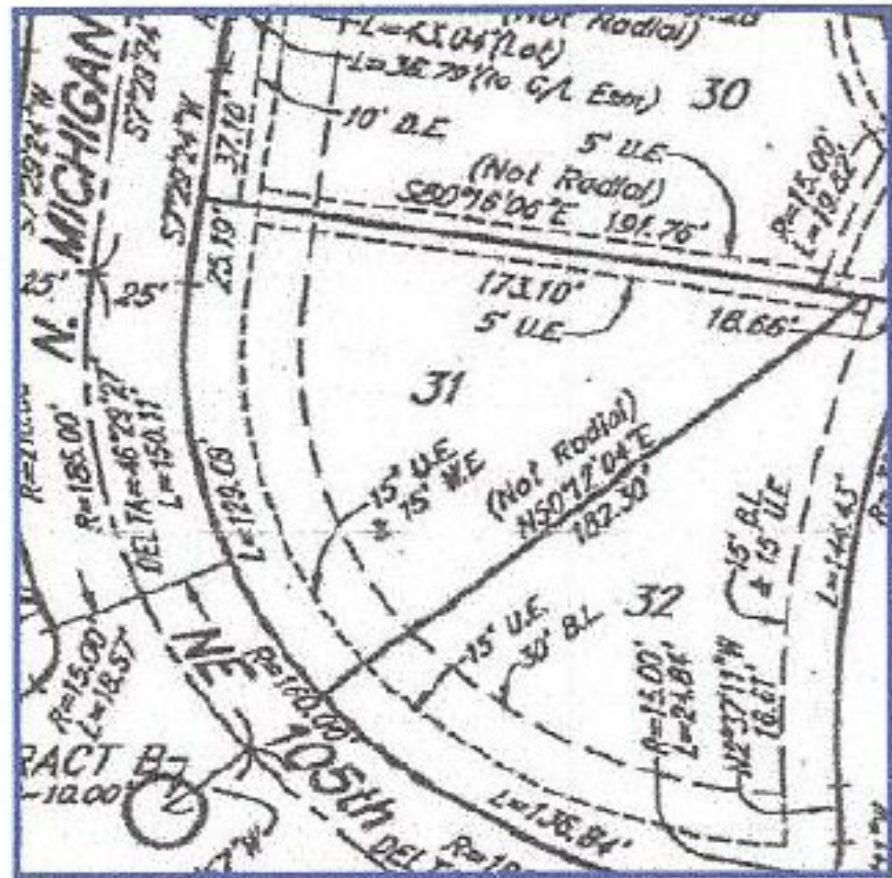
Pie Shaped  
Typically on a  
Cul-de-sac





## Lot Shape

# Pinched



# Lot Shape

Corner  
&  
Key lots





# Curb Cuts





Lot Style

Walk out



FRONT ELEVATION  
1/2" = 1'-0"



Lot Style

Walk out



Lot style

Daylight



FRONT ELEVATION



Lot Style

Flat lot



FRONT ELEVATION

The diagram shows a rectangular lot with a thick black border. Inside the lot, the text "Lot Style" is centered at the top, and "Flat lot" is centered below it. The lot is divided into two main sections by a horizontal line. The top section is a smaller rectangle, and the bottom section is a larger rectangle. The text "Flat lot" is positioned in the center of the bottom section.

The diagram shows a rectangular lot with a black border. Inside the lot, the text "Lot Style" is centered at the top, and "Flat lot" is centered below it. The lot is divided into two main sections by a horizontal line. The top section is labeled "Lot Style" and the bottom section is labeled "Flat lot".



REAR ELEVATION



FRONT ELEVATION



The background of the slide features architectural drawings of a two-story house. At the top, a 'REAR VIEW' drawing shows the back of the house with a central door and several windows. To the right, a 'RIGHT SIDE' drawing shows the side profile of the house. At the bottom, a 'FRONT ELEVATION' drawing shows the front of the house, including a large front door, windows, and a two-car garage. The drawings are in blue lines on a white background.

# New Home Construction

Site Costs ...  
What are those???



# Sub Surface Conditions

Undiggable rock

Diggable rock (can't use the material on the lot)

Underground springs

Non-compacted soil (unstable soil)

## Site costs

All sub surface conditions above ... AND ...


Tree removal

Retaining walls

Removal of unusable soil

Hauling in good soil

Piering, tall walls, spread footings, etc.

The background of the slide is a light blue architectural drawing of a two-story house. The drawing includes a 'REAR VIEW' of the house at the top, showing a gabled roof and a small porch, and a 'FRONT ELEVATION' at the bottom, showing a larger porch and multiple windows. The text 'New Home Construction' is overlaid in a large, bold, black font.

# New Home Construction

Financing options

Extended rate lock programs  
Construction to Perm Loan

# New Home Construction

Inspections  
&  
City Inspections

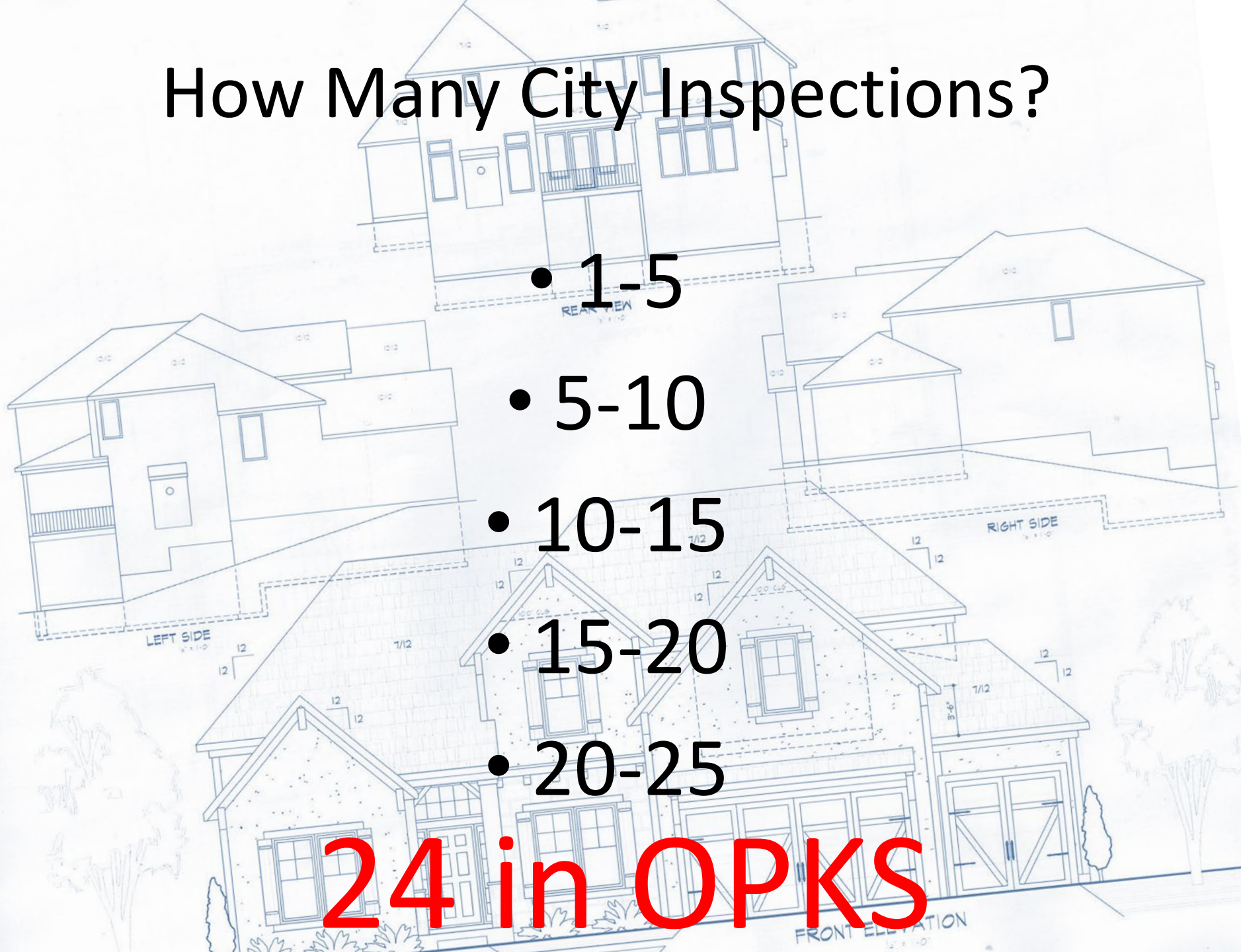




# How Many City Inspections?

- 1-5
- 5-10
- 10-15
- 15-20
- 20-25

24 in OPKS






# How Many City Inspections?

**Erosion Control Inspection - Ongoing**  
**Footing Inspection**  
**Foundation Wall Inspection**  
**Ground Rough Plumbing Inspection**  
**Right of Way Compaction Inspection**  
**Vapor Barrier Inspection**  
**Slab on Grade Inspection**  
**Structural Slab Inspection**  
**Fire Resistive Wall Inspection**  
**Structural Braced Wall Inspection**  
**Flashing Inspection**  
**Weather Resistive Barrier Inspection**

**Lath Inspection**  
**Rough-in Inspection**  
**Thermal Envelope Inspection**  
**Electrical Inspection**  
**Fuel Inspection**  
**Insulation Inspection**  
**Panel Certificate Inspection**  
**Sheet Rock Inspection**  
**Concrete Form Inspection**  
**Final Site Grade Inspection**  
**Sidewalk Inspection**  
**FINAL INSPECTION!!**


The background of the slide is a light blue architectural drawing of a two-story house. The drawing shows the rear view of the house, with a central entrance, a balcony, and several windows. The text 'REAR VIEW' is visible on the drawing. The main title 'New Home Construction' is overlaid on the drawing in a large, bold, black font.

# New Home Construction

## Options

If the buyer can imagine it and  
pay for it, they can have it!  
(sometimes)



The background of the slide features architectural drawings of a house. At the top, there is a 'REAR VIEW' drawing of a two-story house with a gabled roof and a balcony. Below it, on the left, is a 'LEFT' side view. On the right is a 'SIDE' view. At the bottom, there is a 'FRONT ELEVATION' drawing showing a house with a large front door, windows with shutters, and a two-car garage with double doors. The drawings are in blue lines on a white background.

# New Home Construction

## Allowances

Built in money for  
buyer to spend!

The background of the image consists of architectural blueprints for a house. At the top, there is a 'REAR VIEW' drawing of a two-story house with a central entrance and several windows. To the left, there is a 'LEFT SIDE' drawing showing a side profile of the house. To the right, there is a 'DE' (Deck) drawing showing a side view of a deck. At the bottom, there is a 'FRONT ELEVATION' drawing showing the front of the house with a large front door, windows, and a large garage with double doors. The text 'New Home Construction' is overlaid in large, bold, black letters across the center of the image.

# New Home Construction

Escrow

Rain again?!?! UGH!



# New Home Construction

Time frame

30 days or 2 years?




The background of the slide features architectural drawings of a house. At the top, there is a 'REAR VIEW' drawing of a two-story house with a central entrance and several windows. Below it, on the right, is a side elevation of a house. At the bottom, there is a 'FRONT ELEVATION' drawing showing a house with a large front door, windows, and a garage with four doors. The text 'New Home Construction' is overlaid in large, bold, black letters.

# New Home Construction

Community Requirements

Review the HOA docs!

The background of the slide features a light blue architectural drawing of a two-story house. The top portion shows the 'REAR VIEW' of the house, which includes a central entrance with a small porch, several windows, and a balcony. The bottom portion shows the 'FRONT ELEVATION' of the house, featuring a large front door, two windows with shutters, and a large garage with double doors. The text 'New Home Construction' is overlaid in large, bold, black letters. Below it, the text 'Community Agents' and 'Your best resource!' is overlaid in black letters on a semi-transparent blue rectangular background.

# New Home Construction

Community Agents

Your best resource!



The background of the slide features architectural drawings of a house. At the top, there is a 'REAR VIEW' drawing of a two-story house with a central entrance, multiple windows, and a small balcony. Below this, on the right, is a side elevation drawing of a house with a gabled roof and a single window. At the bottom, there is a 'FRONT ELEVATION' drawing of a house with a central door, two windows with shutters, and a large three-pane garage door. The text is overlaid on these drawings.

# New Home Construction

Meetings & Walk Throughs

Attend EVERY TIME!

The background of the slide features architectural blueprints for a new home. The drawings include a 'REAR VIEW' of a two-story house with a central entrance and a balcony, a 'RIGHT SIDE' elevation showing a side profile, and a 'FRONT ELEVATION' at the bottom showing a large front porch with columns. Various dimensions and window/door symbols are visible throughout the plans.

# New Home Construction

The building process!

# ESTIMATED Construction Progress Calendar

Step 1	Sales Contract with Builder	5/1/2021	←(Enter Contract Date)
Step 2	Plot plan from Engineer	5/10/2021	
Step 3	Lot closing; Developer to Builder	6/1/2021	
Step 4	Building Permit	6/2/2021	
Step 5	Lot staked	6/10/2021	
Step 6	Lot Excavation	6/20/2021	
Step 7	Footings	6/27/2021	
Step 8	Ground Rough Plumbing	7/5/2021	
Step 9	Foundation	7/15/2021	
Step 10	Damproofing	7/20/2021	
Step 11	Backfill	7/30/2021	
Step 12	Framing & Deck	8/4/2021	
Step 13	Roof	8/18/2021	
Step 14	Fireplace Inserts	8/24/2021	
Step 15	Rough HVAC	9/3/2021	
Step 16	Pour Driveway, Patio & Sidewalks	9/13/2021	
Step 17	Rough Electrical & Low Voltage	9/23/2021	
Step 18	Rough Plumbing	9/28/2021	
Step 19	Insulation	10/1/2021	


ALL DÉCOR SELECTIONS NEED TO BE FINAL



Step 20	Sheetrock	10/8/2021
Step 21	Set Furnace and AC	10/13/2021
Step 22	Set Cabinets	10/23/2021
Step 23	Trim Carpentry	11/7/2021
Step 24	Rough Grade of Yard	11/8/2021
Step 25	Paint, Stain and Enamel	11/27/2021
Step 26	Install Landscaping & Sprinkler	12/2/2021
Step 27	Countertops and Tile	12/7/2021
Step 28	Install Appliances	12/12/2021
Step 29	Install Lighting	12/17/2021
Step 30	Install Finish Plumbing	12/27/2021
Step 31	Install Mirrors and Shower Doors	1/1/2022
Step 32	Install Cabinet Hardware	1/6/2022
Step 33	Install finish HVAC	1/11/2022
Step 34	Install Sod	1/16/2022
Step 35	Final Inspection	1/21/2022
Step 36	Walk through	1/26/2022
Step 37	Closing	1/31/2022

This Estimated Construction Progress Calendar is used for training purposes only and does not correspond with any particular builder or builders actual process. Speak to your specific builder for a more accurate construction timeframe.

This example is of a 9 month build time.

The background of the image consists of several architectural line drawings of a house. At the top center is a 'REAR VIEW' drawing of a two-story house with a gabled roof, multiple windows, and a small porch. Below it and to the left is a side elevation drawing. To the right is another side elevation drawing. At the bottom of the image is a 'FRONT ELEVATION' drawing, which shows a two-story house with a prominent front door, large windows with shutters, and a wide porch with four columns. The drawings are in blue lines on a light background.

# New Home Construction

A Journey from  
Beginning to End!

How do we get from  
here ....





**It all starts with a  
contract, a plan & permits**



# Plot Plan



SCALE: 1"=20'  
0 20

PREPARED FOR:  
NEW MARK HOMES

## LEGEND

- (S1) 8" X 6" TEE  
95' DDS  
2 L.F. RISER THEN  
19 L.F. OF 6" PVC  
@ 1.3%  
FL=948.4  
MSFE=951.4

- (E1) TOP EGRESS WELL=961.0  
F.G. EGRESS WELL=960.5  
TOP EGRESS WALL=958.0  
3' WALL

E.G.= EXISTING GRADE  
F.G.= FINISHED GRADE  
T/C= TOP OF CURB  
T.E.= TOP ELEVATION  
H.P.= HIGH POINT  
B.F.= BASEMENT FLOOR  
T.W.= TOP OF WALL  
G.F.= GARAGE FLOOR  
FL= FLOW LINE  
EGL=ENERGY GRADE LEVEL  
MLO=MINIMUM LOW OPENING  
L/E=LANDSCAPE EASEMENT  
P.B.=PERIPHERAL BOUNDARY  
WRWW=WATER RESISTANT WND. WELL  
S/E=SANITARY SEWER EASEMENT  
E/I=ENGINEERING & INSPECTION



City of Basehor  
Building Department

Approved for Code Compliance

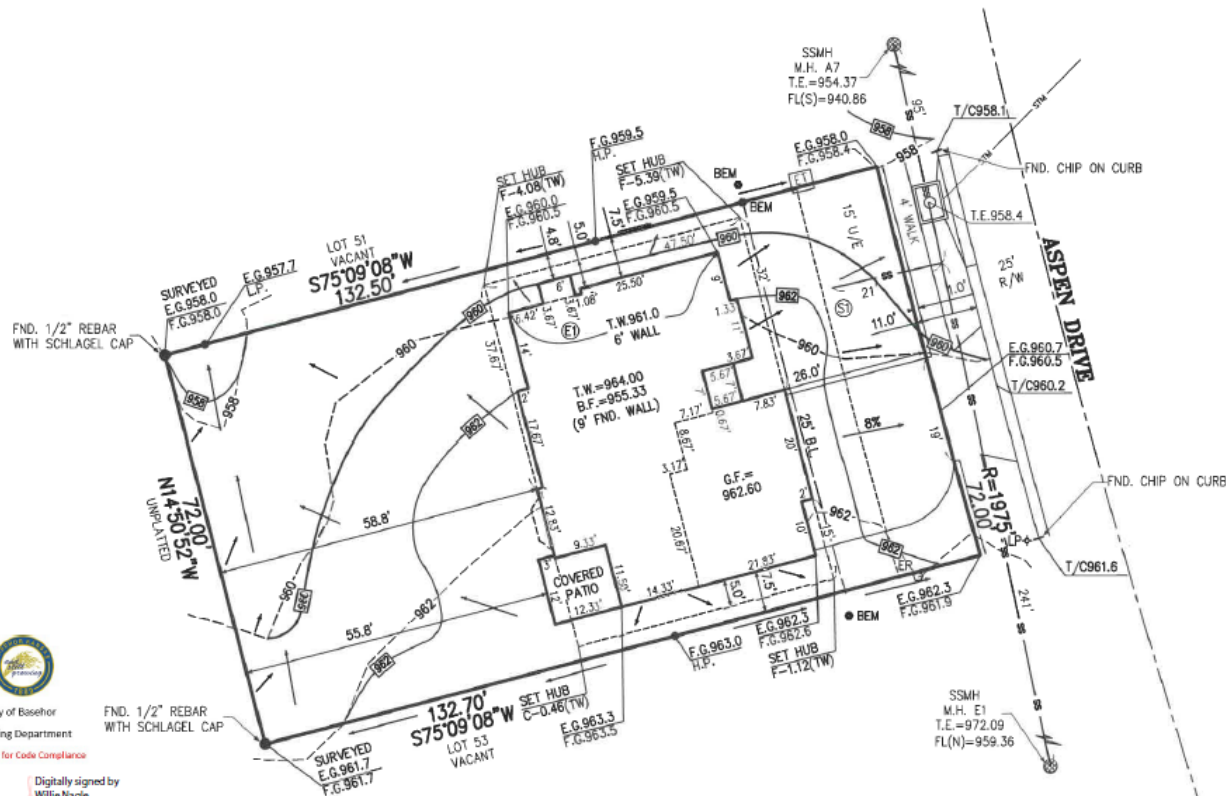
Willie  
Nagle

Digitally signed by  
Willie Nagle  
Date: 2022.10.26  
08:39:59 -05'00'

## PLOT PLAN

LOT 52

BOULDERS AT FALCON LAKES VILLAS, FIRST PLAT  
4540 ASPEN DRIVE



LOT AREA=9,531 SQ. FT.

DATE STAKED:10/6/22  
SURVEY CREW:CM  
HOUSE TIES CHK'D:YES

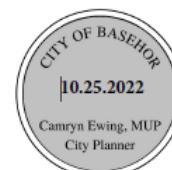
### LEGAL DESCRIPTION:

LOT 52, BOULDERS AT FALCON LAKES VILLAS, FIRST PLAT, A SUBDIVISION OF LAND IN THE CITY OF BASEHOR, LEAVENWORTH COUNTY, KANSAS.

Backwater protection required for all basement and first floor plumbing fixtures.

### NOTES:

1. SQUARE FOOTAGE OF DRIVEWAY AS SHOWN:949
2. 6 INCHES OF CLEARANCE IS REQUIRED FROM THE FINISHED GRADE TO THE SILL PLATE OF THE STRUCTURE. THE GRADE SHALL FALL A MINIMUM OF 6 INCHES WITHIN THE FIRST 10 FEET FROM THE FOUNDATION OF THE BUILDING.
3. CLIENT TO VERIFY ALL WALL HEIGHTS AS SHOWN PRIOR TO EXCAVATION AND POURING OF FOUNDATION.



# Surveying





# Staking/Flagging





# Excavation





# Excavation





# Footing Prep





# Footings



# Foundation Forms





# Foundation Forms





# Foundation Forms





# Rebar and ties





# Concrete Pump Truck



# Forms Being Removed





# Damp Proofing





# Ground Rough Plumbing





# Ground Rough Plumbing



# Basement Floor/Slab





# Garage Floor



# Framing





# Framing





# Walls Raised



# The 2<sup>nd</sup> Floor





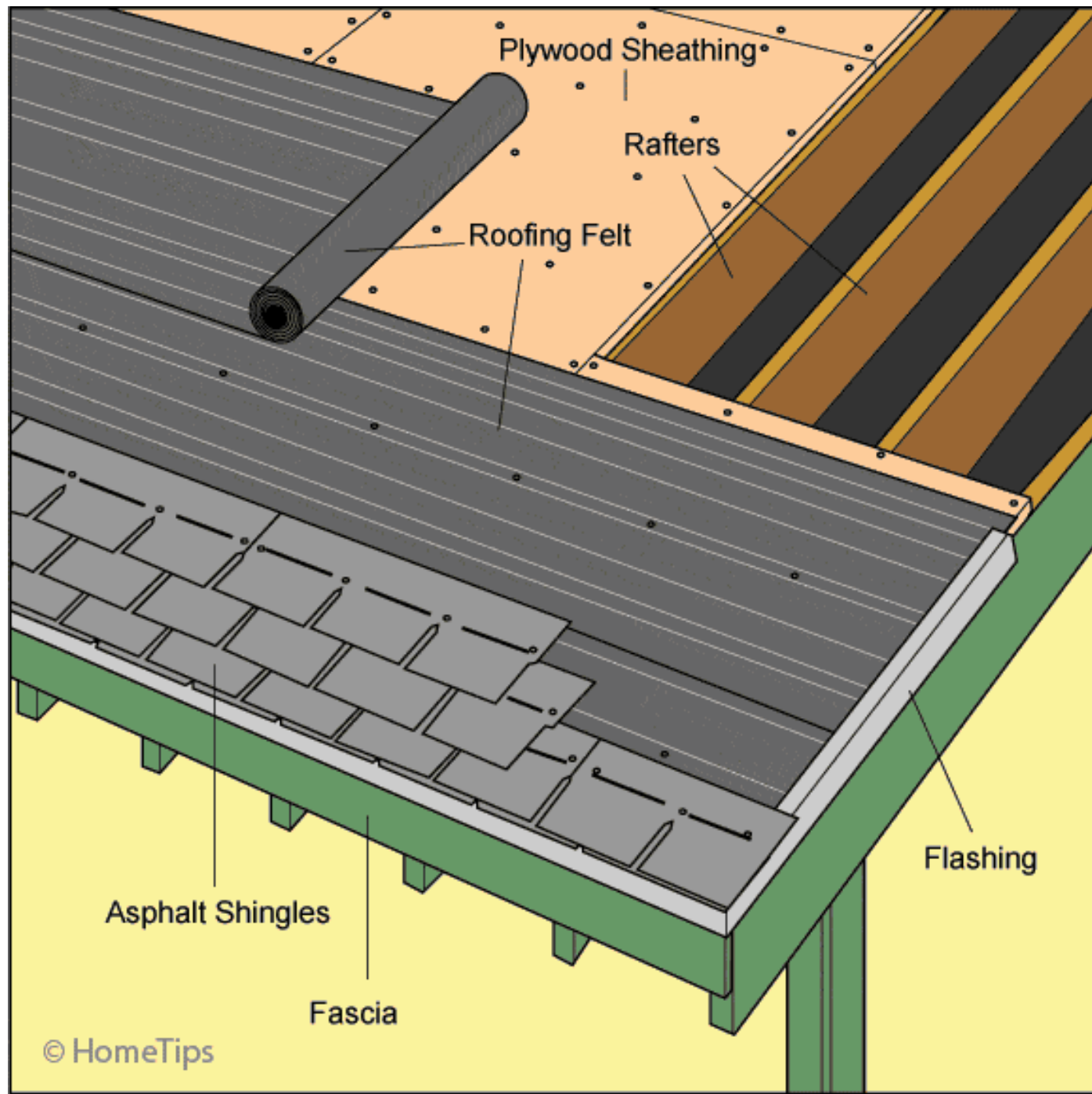
# Roof Rafters





# Framing complete





# Roofing materials





# Asphalt Underlayment



# House Wrap





# Rough Plumbing





# Fireplace & Rough Electrical



# Rough Electrical





# Rough Electrical: Can Lights & Fixture Boxes

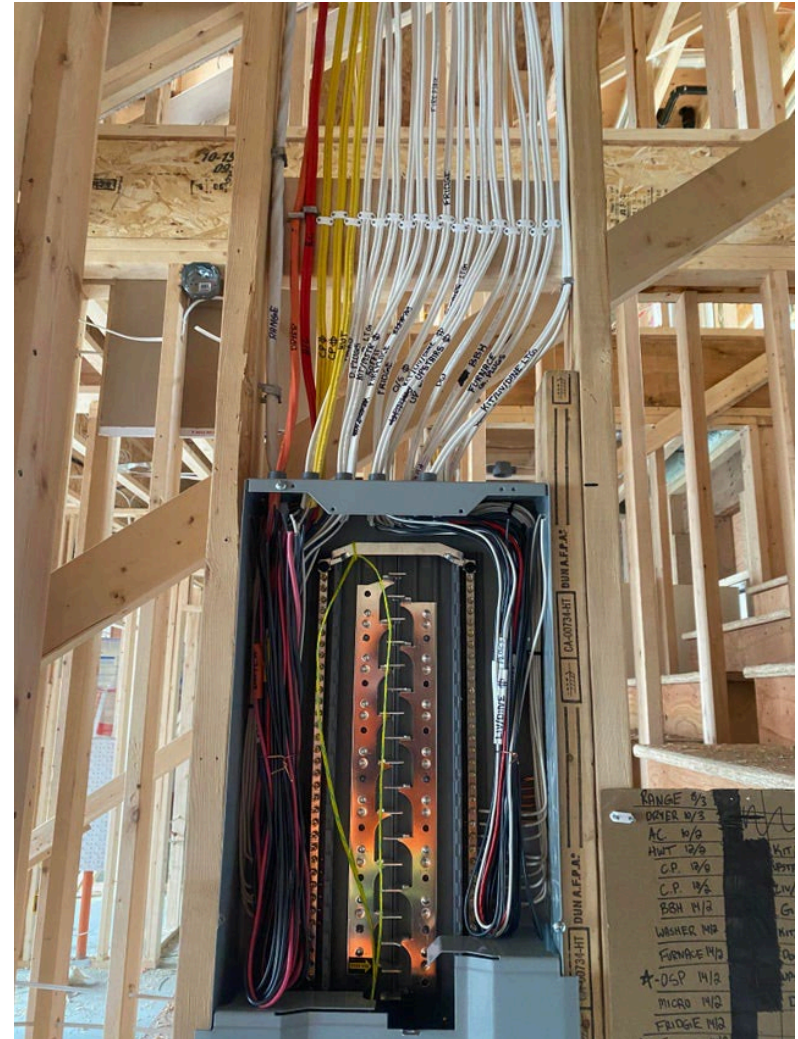




# Rough Electrical



# Rough Electrical





# HVAC Is Installed





# Utility connections



# Insulation - Batt





# Insulation - Blown



# Sheetrock





# Sheetrock



# Joint Compound/Sheetrock Mud

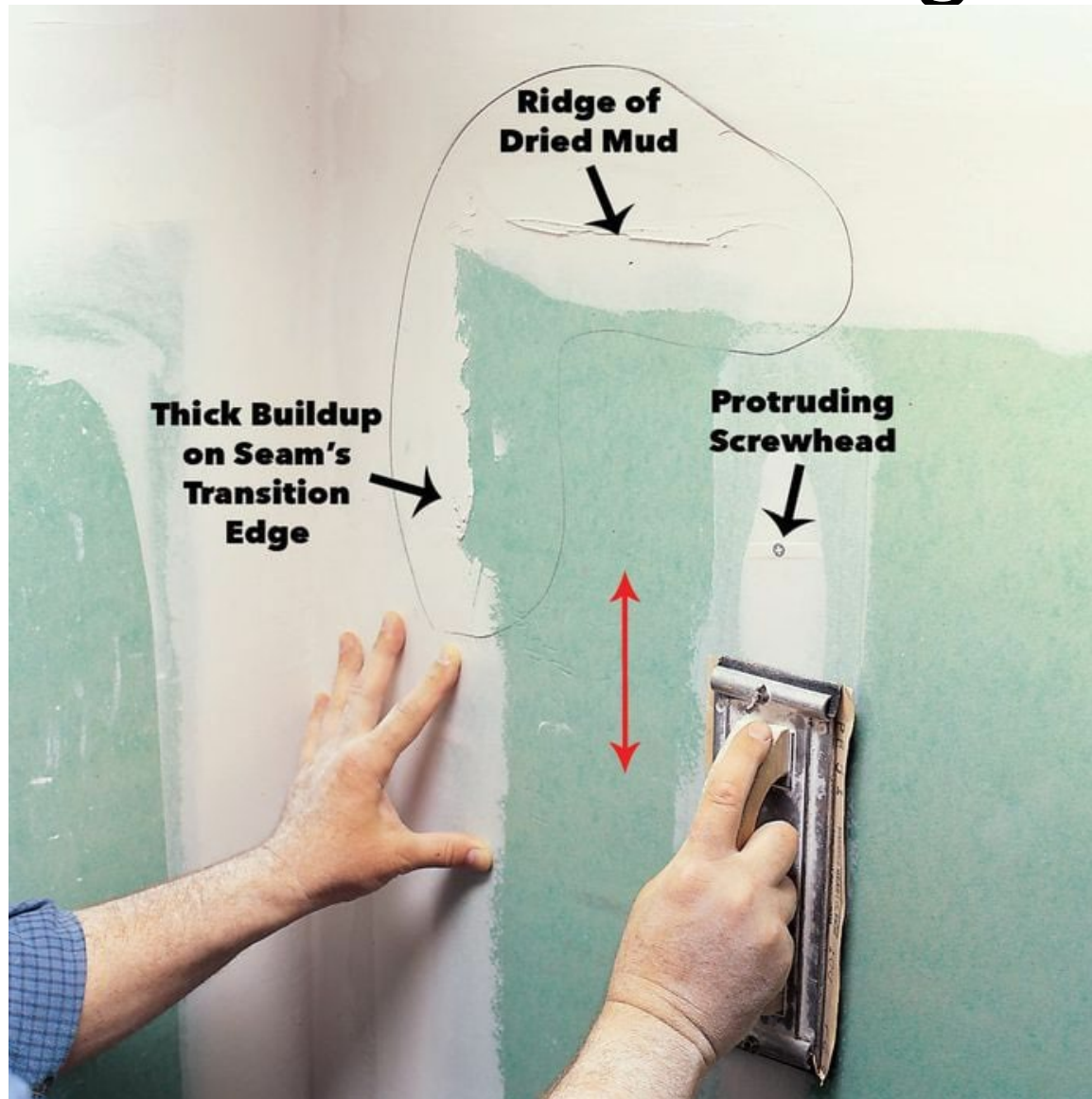




# Tape and Mud



# Sheetrock sanding





# Ceiling Texture Added



# Knock Down Ceilings





# Real Hardwood Floors (then)



# Hardwood Floors (now)



Laminate floors



# Driveway Flatwork





Cabinetry



# Trim



# Paint Prep







Paint (Spraying enamel)

# Paint & Stain





# Paint & Stain



# Barrel Vault Ceiling





# Wainscot (Wayne's cot)



# Gutters





# Patio Flatwork



# Countertops & Appliances







Carpet



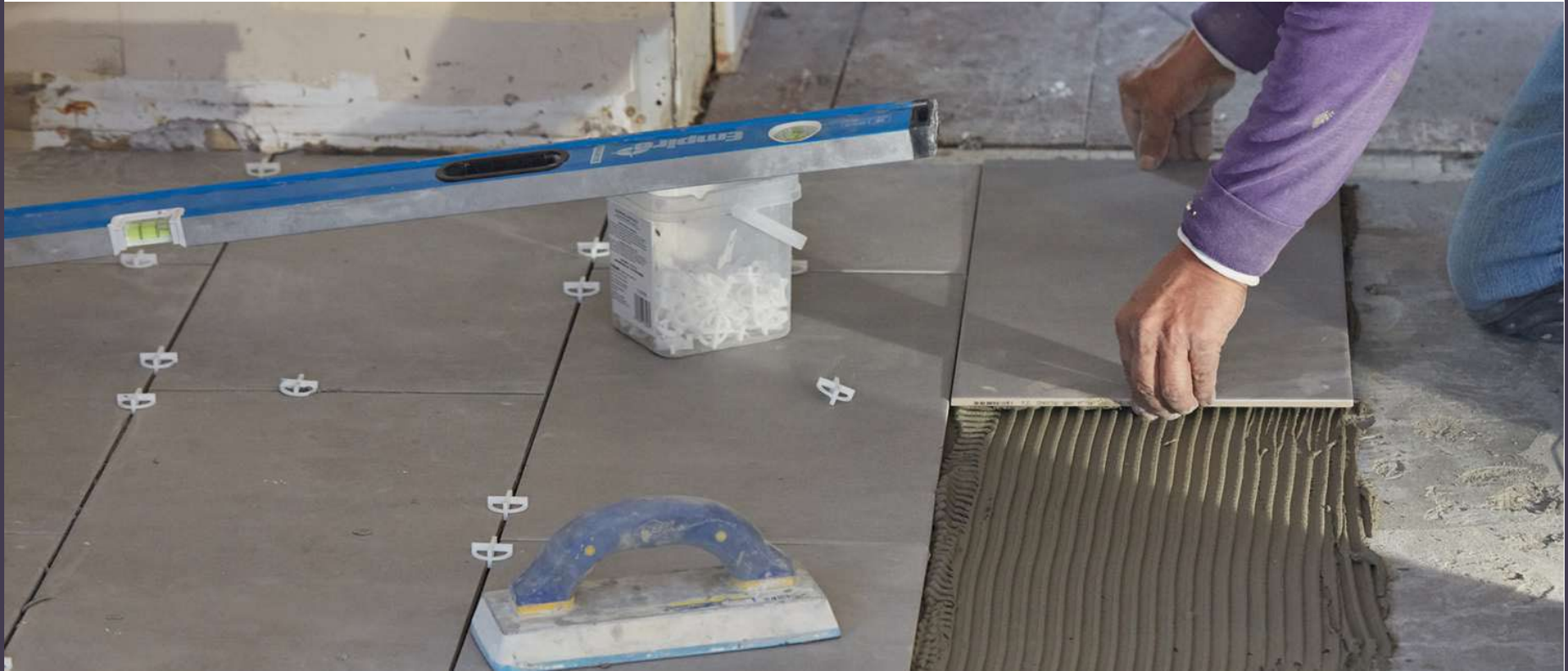
# Light Fixtures





# Sod & Landscaping





# Tile

---



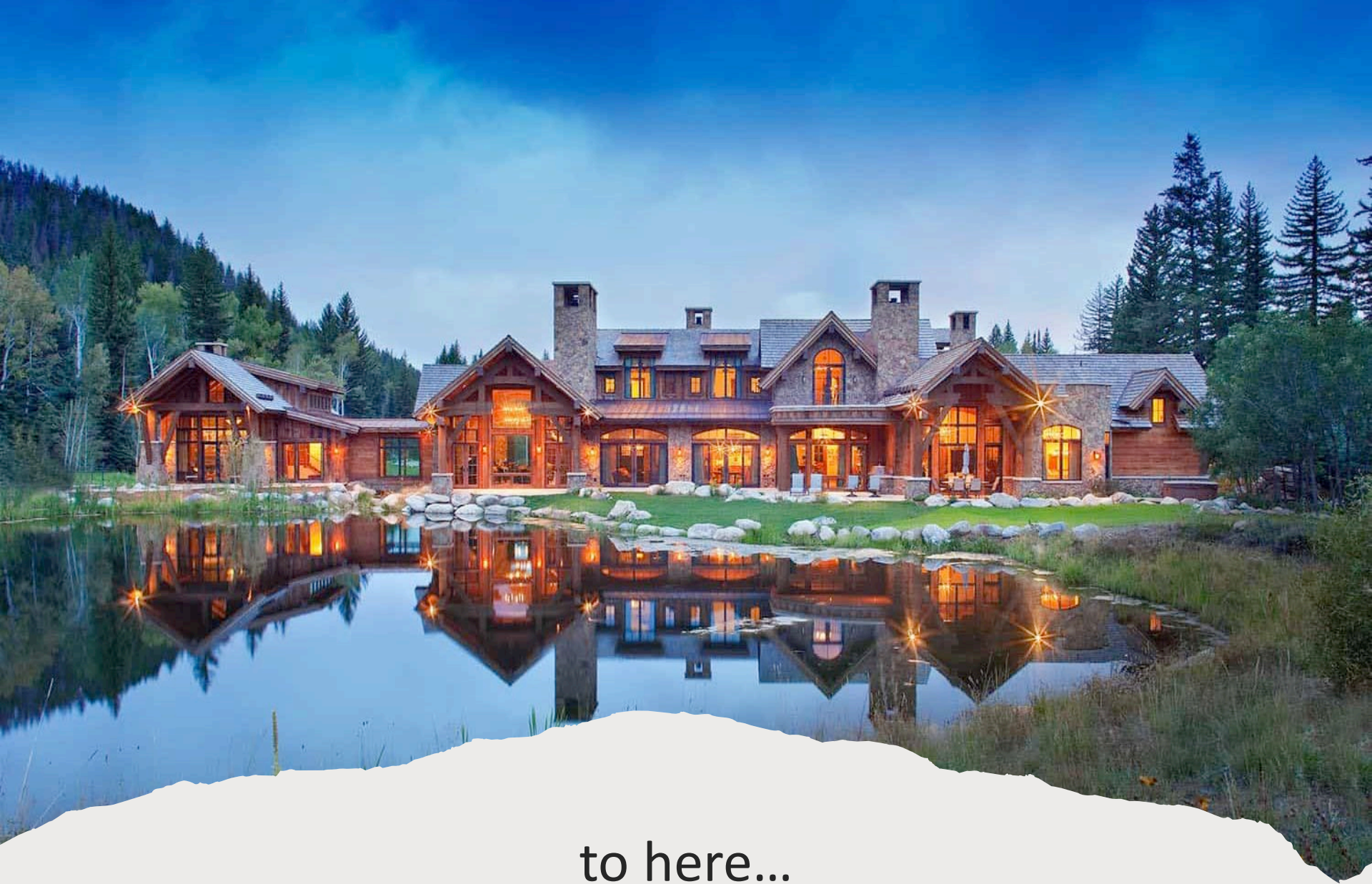


## Paint Touch Ups

That's how we get from  
here...







to here...





# New Home Construction

with  
Cory Stewart

